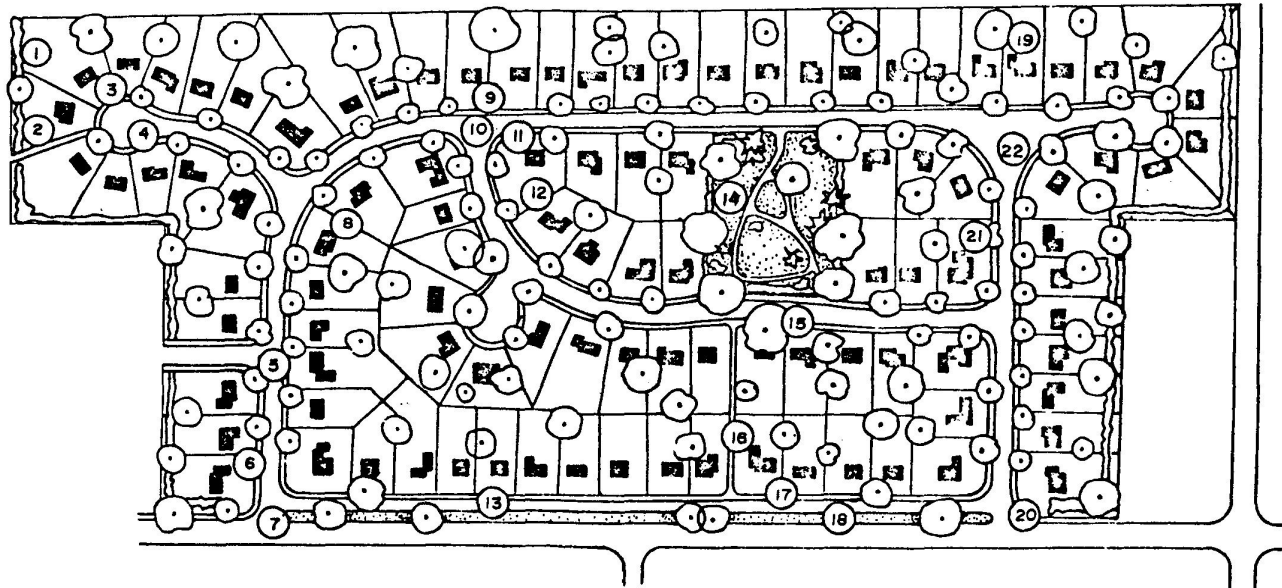


FIGURE 4

EXAMPLE OF SUBDIVISION



1. 15 foot easement for planting screen to provide protection from non-residential use.
2. 10 foot walk easement gives access to school.
3. Cul-de-sac utilizes odd parcel of land to advantage.
4. Turn-around right-of-way 100 feet in diameter.
5. Street trees planted approximately 50 feet apart where no trees exist.
6. Additional building setback improves subdivision entrance.
7. Street intersections of right angles reduce hazards.
8. Lot aide line centered on street end to avoid car lights shining into residence.
9. Residences opposite street end set back farther to reduce glare from car lights.
10. Three-way intersections reduce hazards.
11. Property lines on 30 feet radii at corners.
12. Lot side lines perpendicular to street right-of-way lines.
13. Secondary roadway eliminates hazard of entering major thoroughfare from individual driveways.
14. Neighborhood park located near center of tract. Adjacent lots wider to allow for 15 foot protective side line setback.
15. Pavement shifted within right-of-way to preserve existing trees.
16. 10 foot walk easement provides access to park. Adjacent lots wider to allow for 15 foot protective side line setback.
17. Variation of building line along straight street creates interest.
18. Screen planting gives protection from noise and lights on thoroughfare.
19. Lots backing to uncontrolled land given greater depth for additional protection.
20. Low planting at street intersections permits clear vision.
21. Wider corner lot permits equal building setback on each street.
22. Platting of block end to avoid siding properties to residences across street.