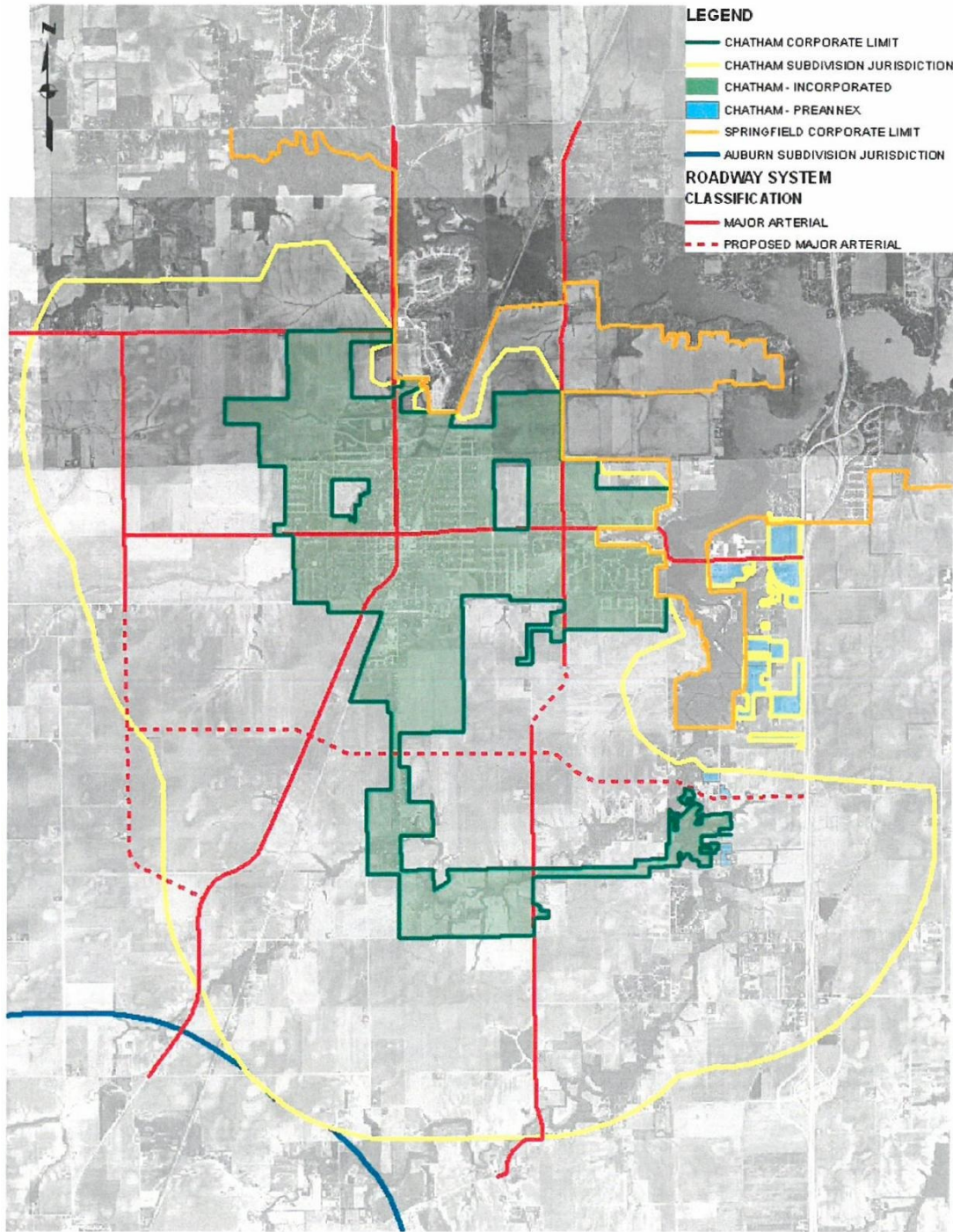


A-1 VILLAGE OF CHATHAM SUBDIVISION JURISDICTION.

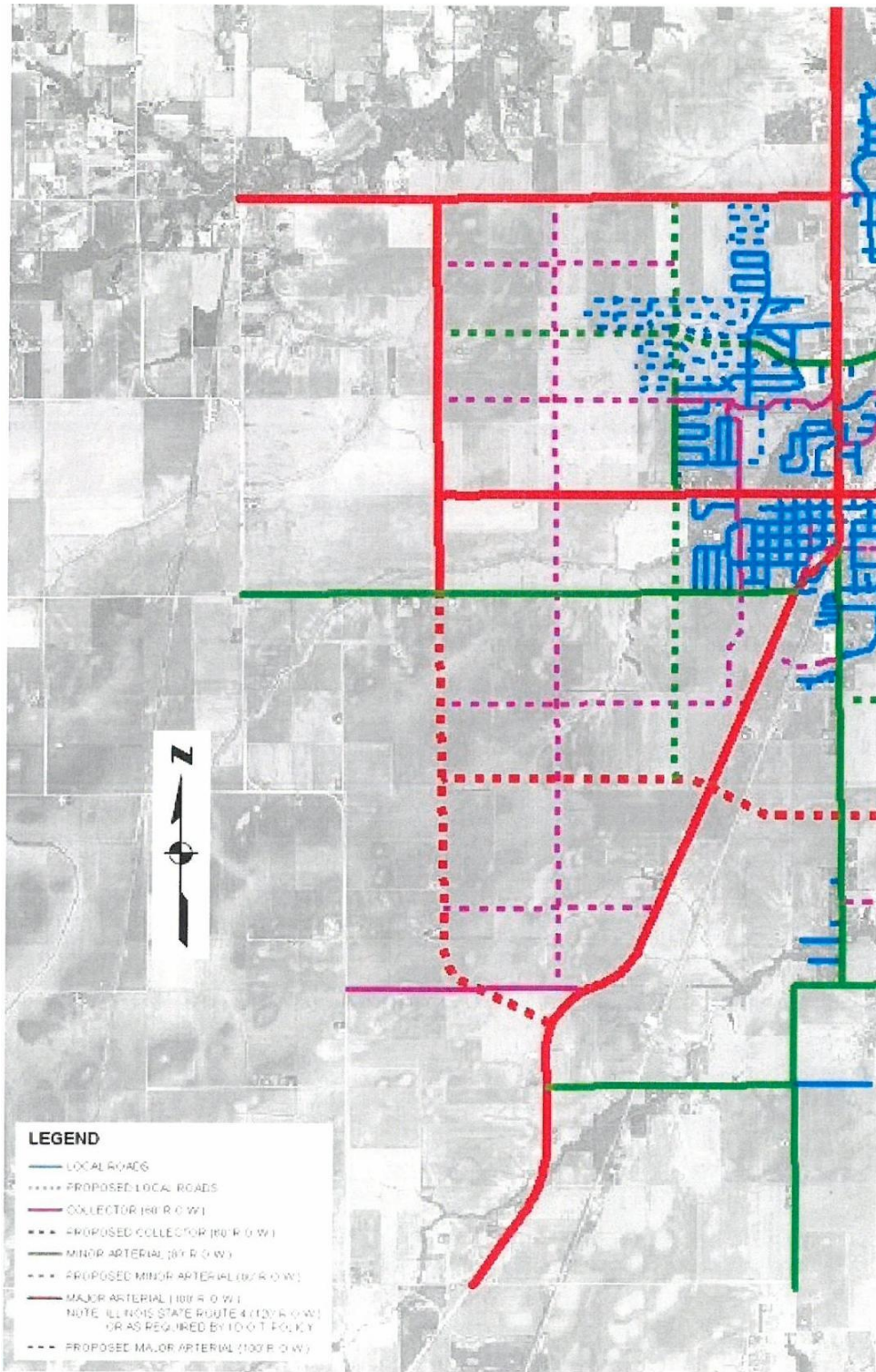


(Confirm current jurisdictional limits with the Village)
(Am. Ord. 16-35, passed 6-28-16)
2017 S-21

A-2 FACILITIES PLAN.

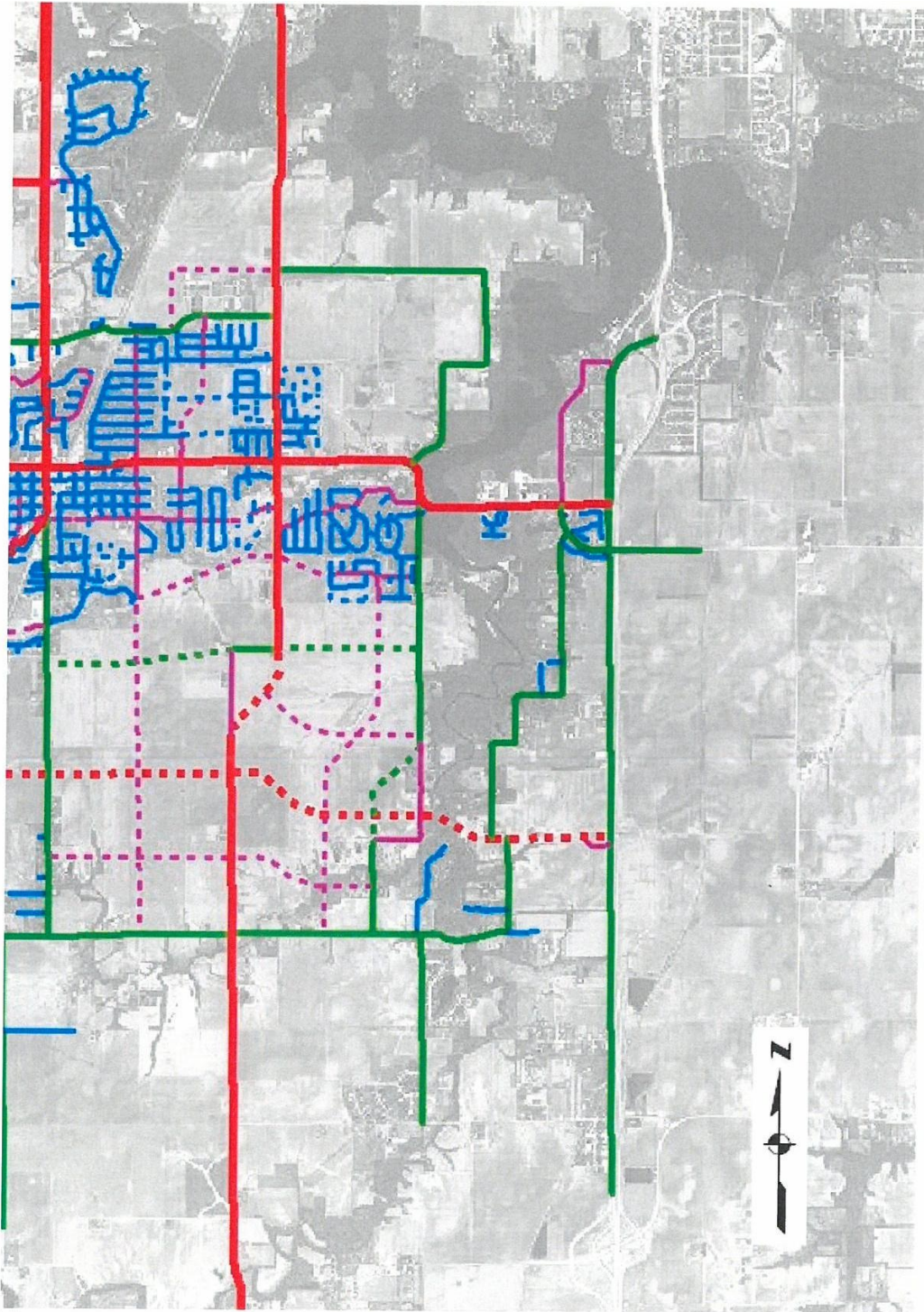
Contact the Springfield Metro Sanitary District (217/ 528-0491) for a current Sanitary Sewer - Facilities Plan Map
(Am. Ord. 16-35, passed 6-28-16)

2017 S-21



A-3 ARTERIAL ROADWAY NETWORK PLAN - WEST.

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A-3 ARTERIAL ROADWAY NETWORK PLAN - EAST.
(Am. Ord. 16-35, passed 6-28-16)
2017 S-21

A-4 BILL OF SALE FOR PUBLIC IMPROVEMENTS.

**BILL OF SALE FOR PERSONAL PROPERTY
FOR _____ SUBDIVISION, ___ PLAT**

This Bill of Sale is made by _____ (“Developer”) in favor of the Village of Chatham, Illinois, an Illinois municipal corporation.

WHEREAS, Developer was the owner and developer of certain property platted as Plat _____ of _____ Subdivision, Village of Chatham, Illinois;

WHEREAS, Developer has completed the construction of certain utility systems and other personal property to be owned by the Village of Chatham within the Plat;

WHEREAS, such systems and property have been found by the Village’s consulting engineer to be in conformance with the approved construction plans;

NOW, THEREFORE, Developer hereby sells, transfers and delivers to the Village of Chatham, Illinois the following goods, chattels, and other items of personal property attached to or constructed within said subdivision:

1. Each and every part and item of a system of storm sewers, within public rights of way of said plat of subdivision for the purpose of collection, transport and flow of storm waters. This transfer does not include any retention or detention works or drainage swales, ditches and depressions or storm sewers not within a public right of way, which will remain the maintenance responsibility of the individual lot owners or the homeowners association, as the case may be.

2. Each and every part and item of a system for the collection, transportation and treatment of sanitary sewage by the sewer system of the Village of Chatham within said plat, excepting those pipes which transport the sewage of a single building into a sewer main and commonly known as a house or building service, and excepting those pipes which are the property of the Springfield Metro Sanitary District.

3. Each and every part and item of a system for distribution of water provided by the waterworks system of the Village of Chatham within said plats, except the pipes which transport water from the meter pit to a building, and commonly known as a house or building service.

4. Each and every part and item of a system for the distribution of electricity provided by the electrical system of the Village of Chatham within said plats of subdivision, except the electrical equipment and wires on the user side of the electric transformer or pedestal and commonly known as a house or building service.

Developer hereby warrants that subject to the prior dedication of rights to the Village of Chatham in connection with recordation of the Plat, it is the lawful owner of the aforescribed property; and such items are free from all encumbrances; and that Developer has the right to sell and convey title to the same.

Chatham - Land Usage

Developer assigns to the Village of Chatham all outstanding warranties and guaranties by any contractor or subcontractor with respect to any public works conveyed pursuant to this instrument.

This Bill of Sale is effective upon its acceptance by ordinance or resolution of the Village of Chatham, Illinois, and recordation of same with the Recorder of Deeds of Sangamon County, Illinois.

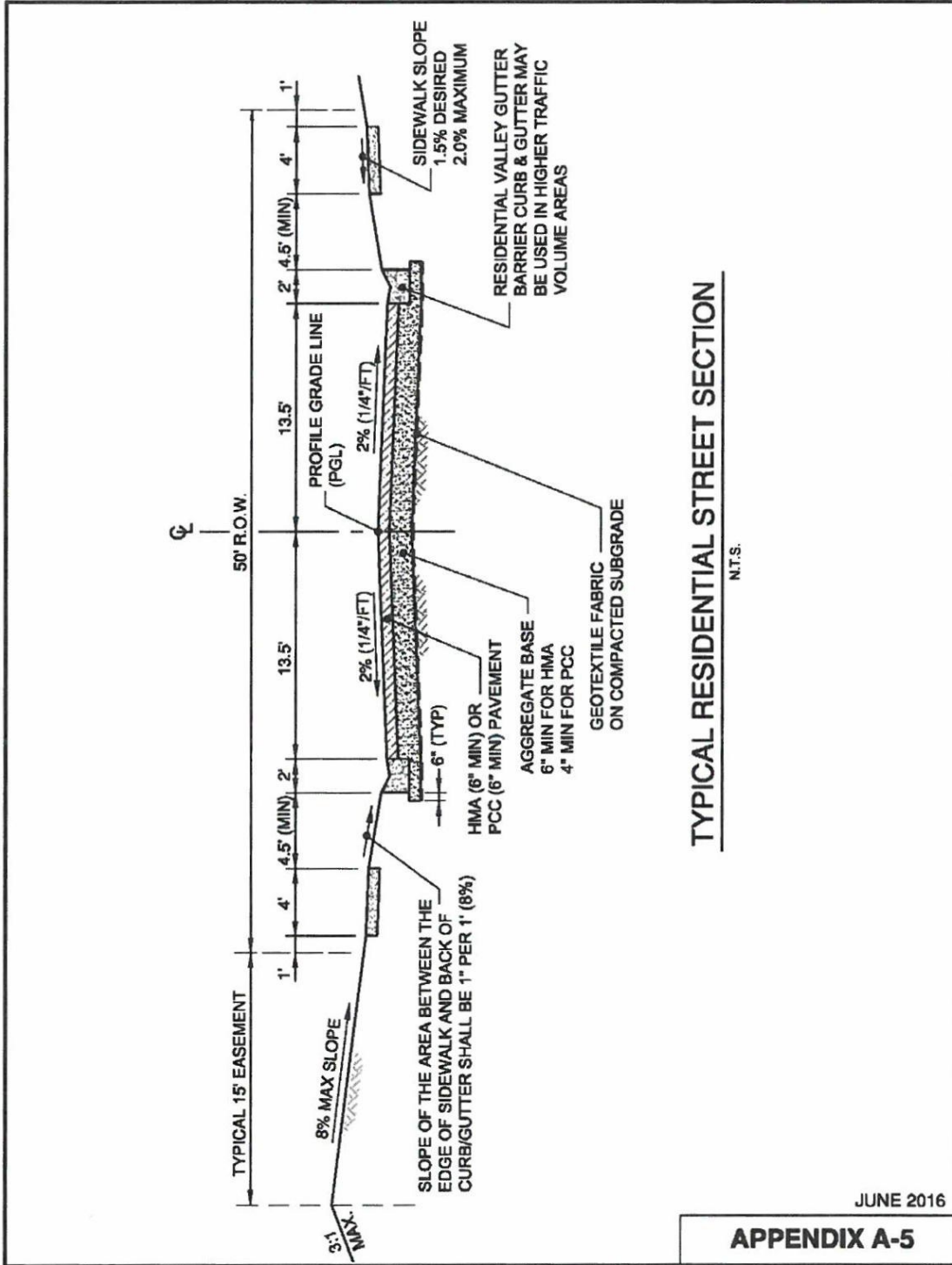
Developer

By: _____
Signature

Print Name and Title

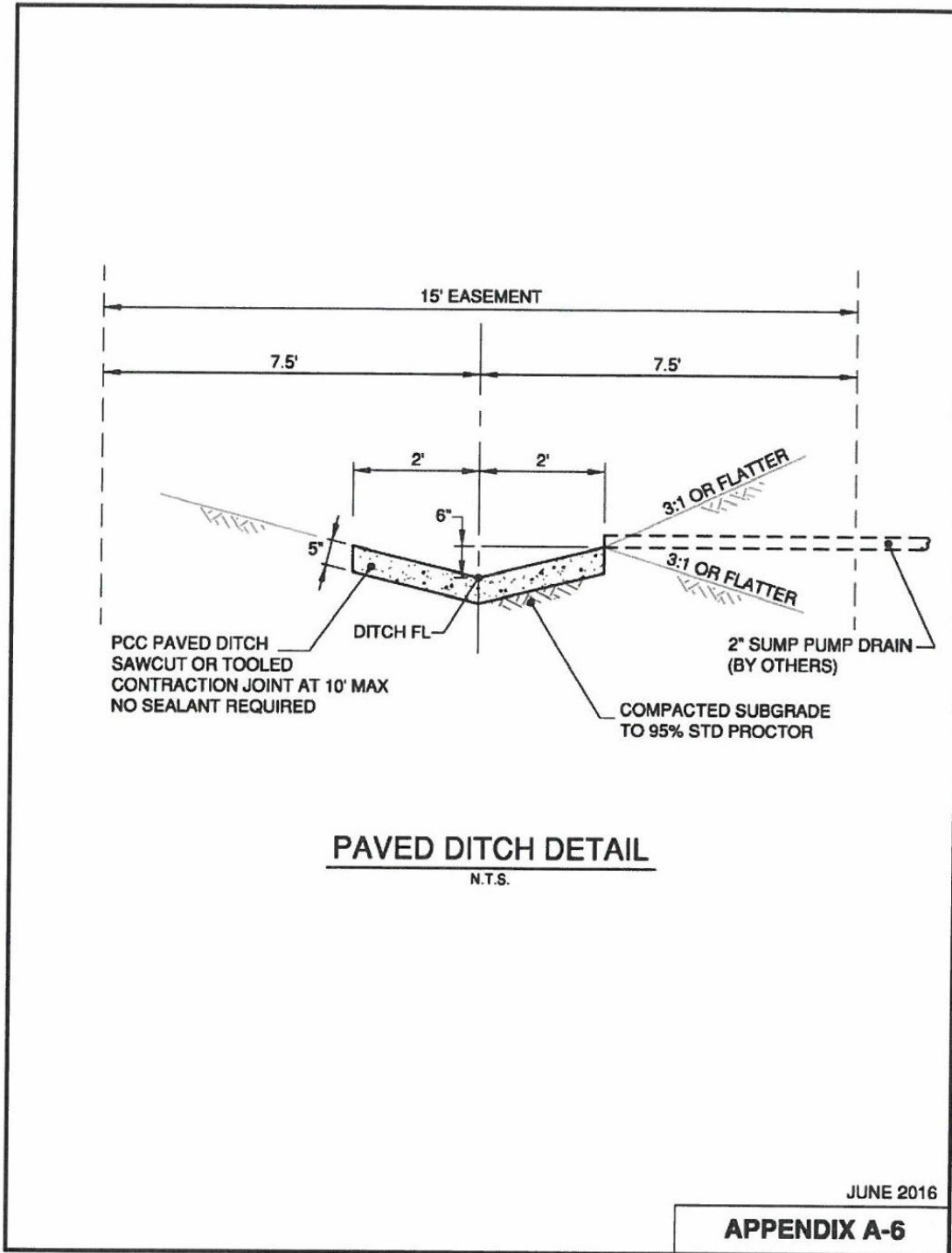
SUBSCRIBED AND ACKNOWLEDGED
before me this __ day of _____, 20__

Notary Public



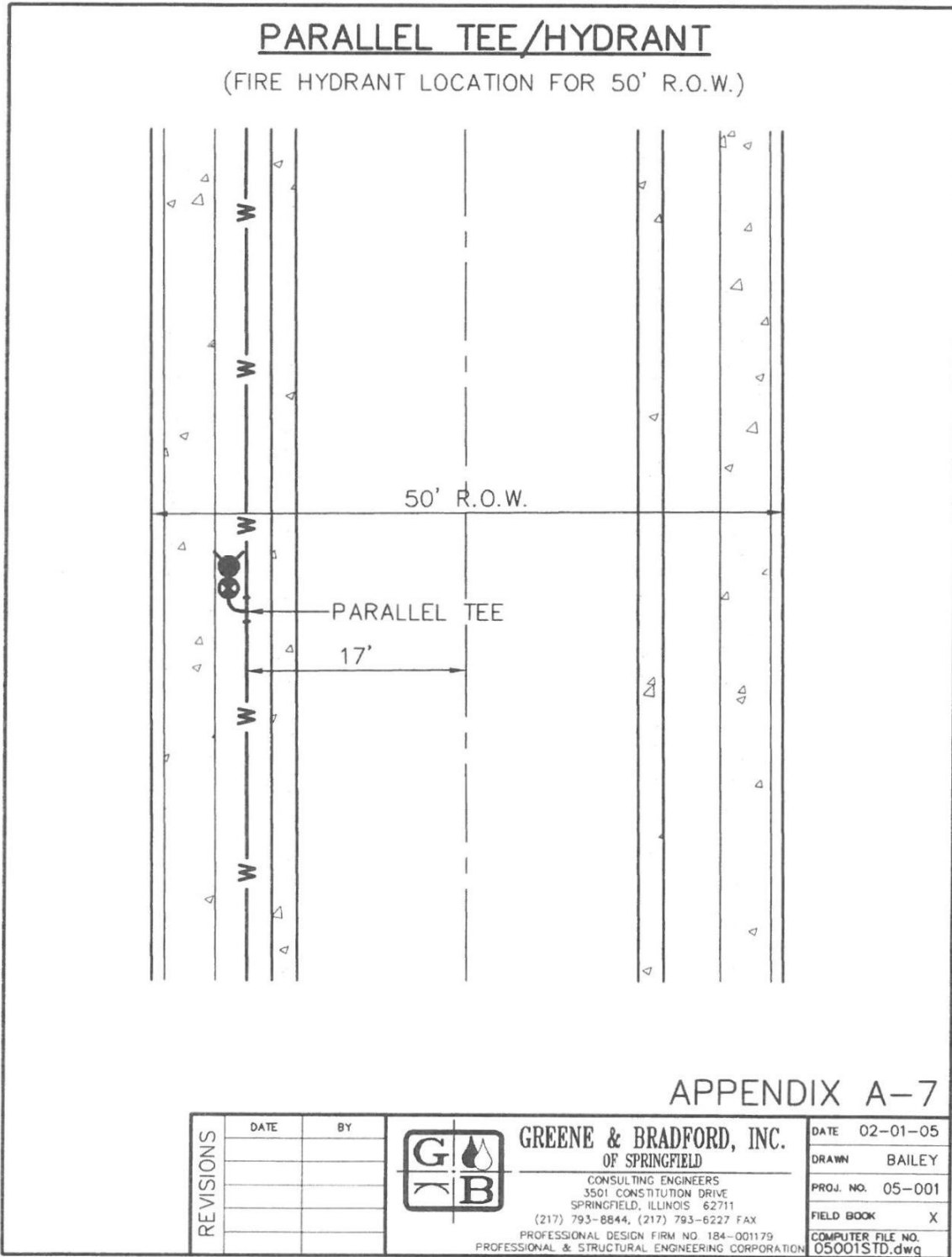
A-5 TYPICAL RESIDENTIAL STREET SECTION.

(Am. Ord. 16-35, passed 6-28-16)
2017 S-21



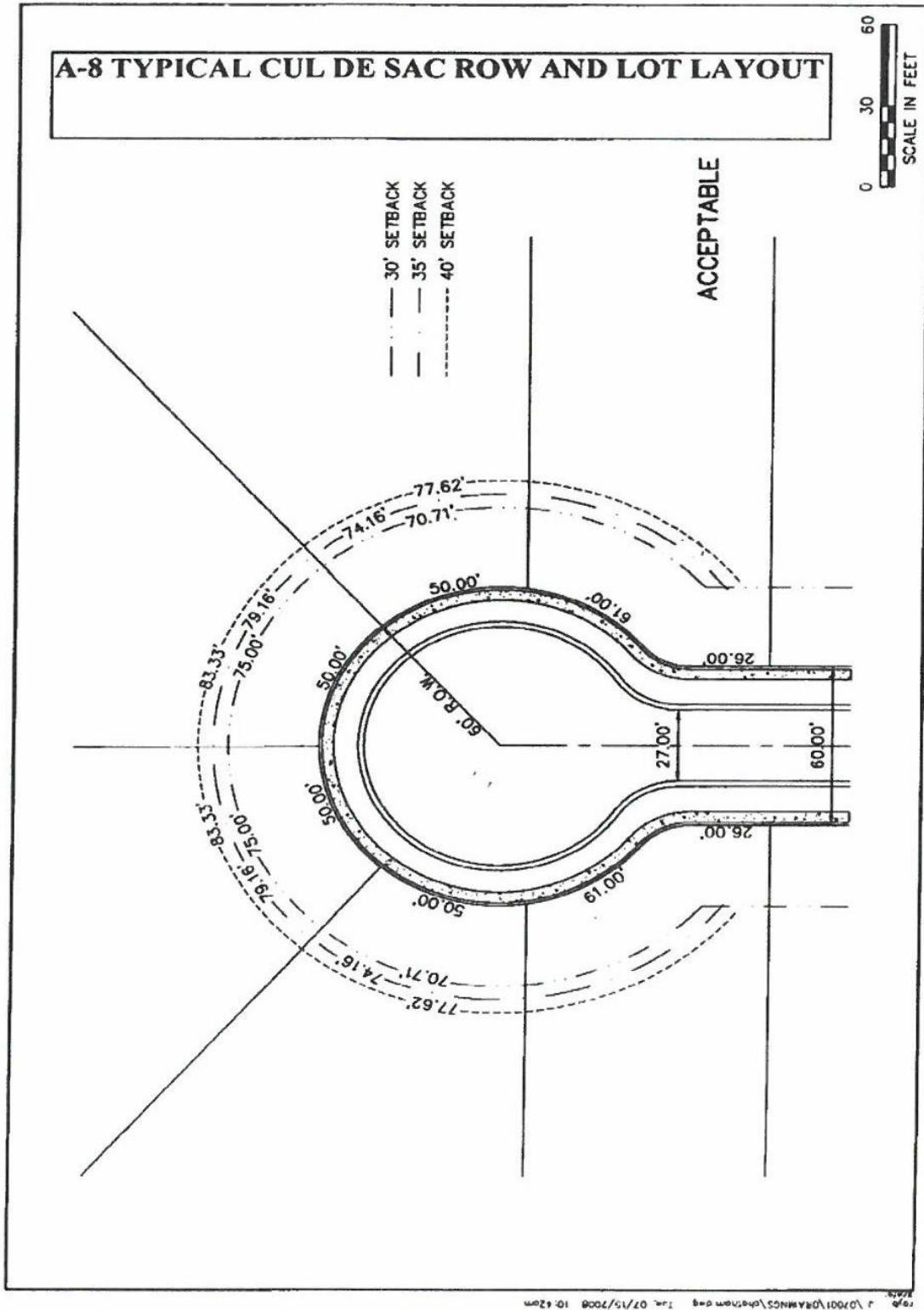
A-6 PAVED DITCH DETAIL.

(Am. Ord. 16-35, passed 6-28-16)
2017 S-21



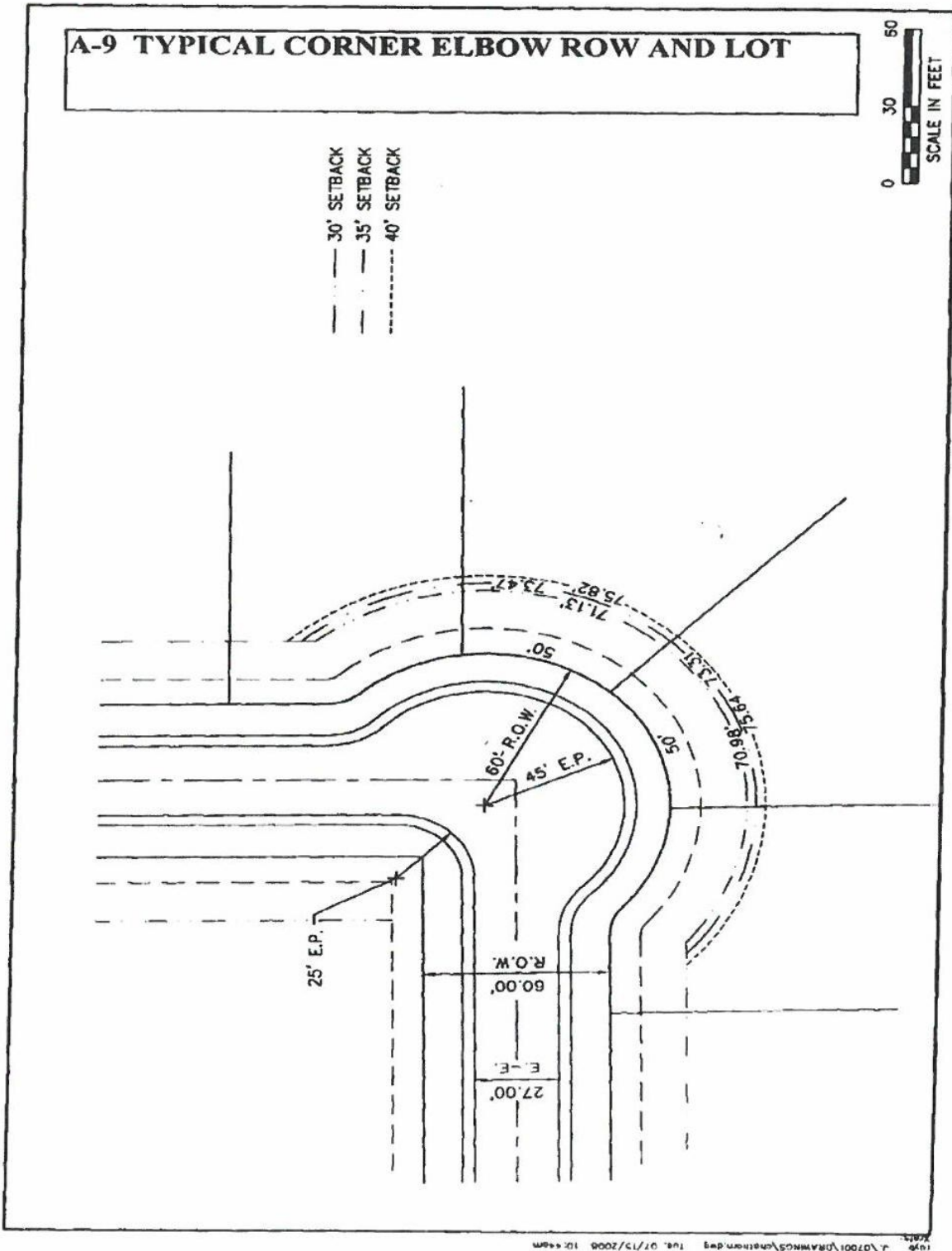
A-7 PARALLEL TEE/HYDRANT.
 (Am. Ord. 16-35, passed 6-28-16)
 2017 S-21

A-8 TYPICAL CUL-DE-SAC ROW AND LOT LAYOUT.



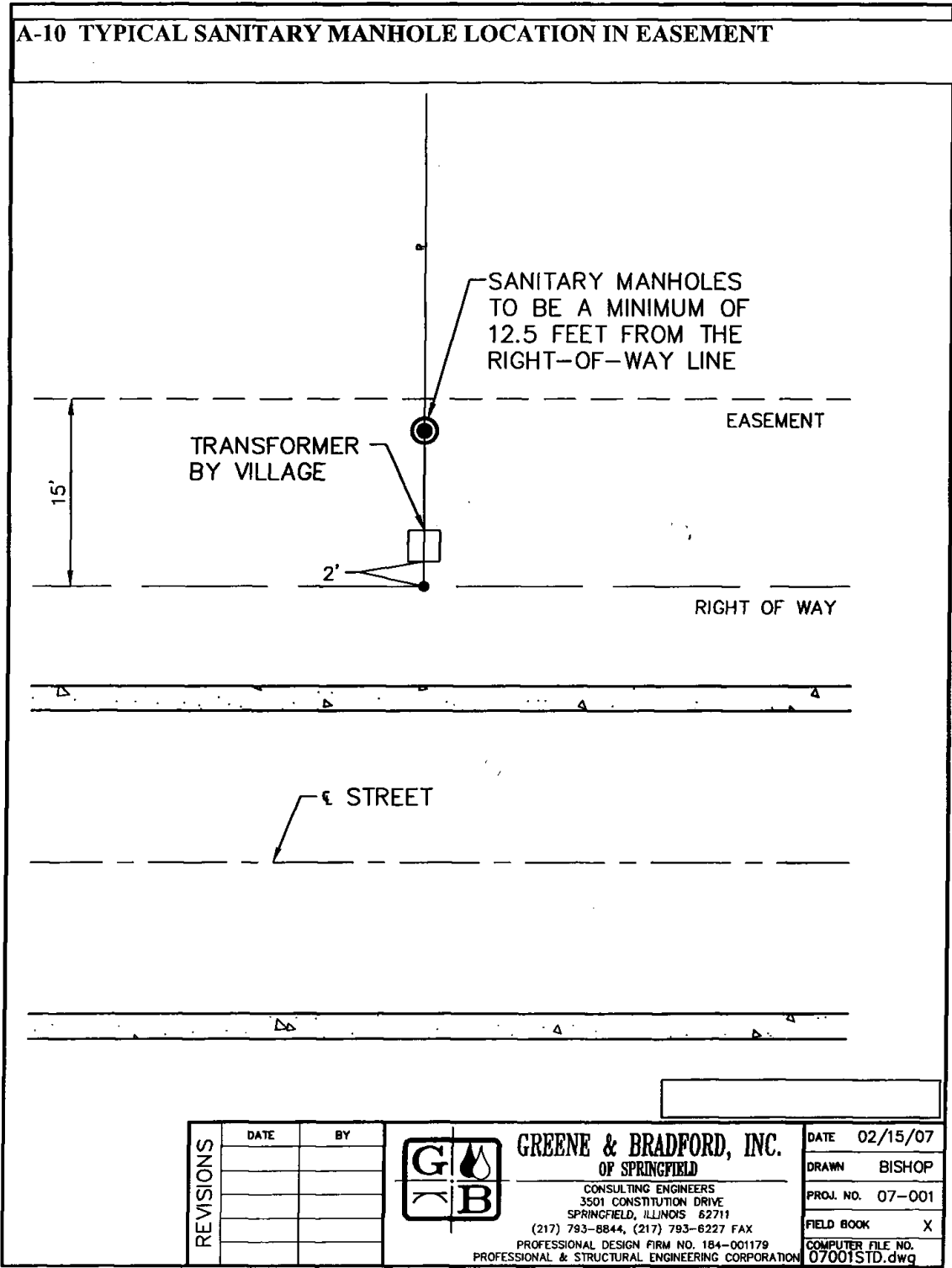
(Am. Ord. 16-35, passed 6-28-16)
2017 S-21

A-9 TYPICAL CORNER ELBOW ROW AND LOT.



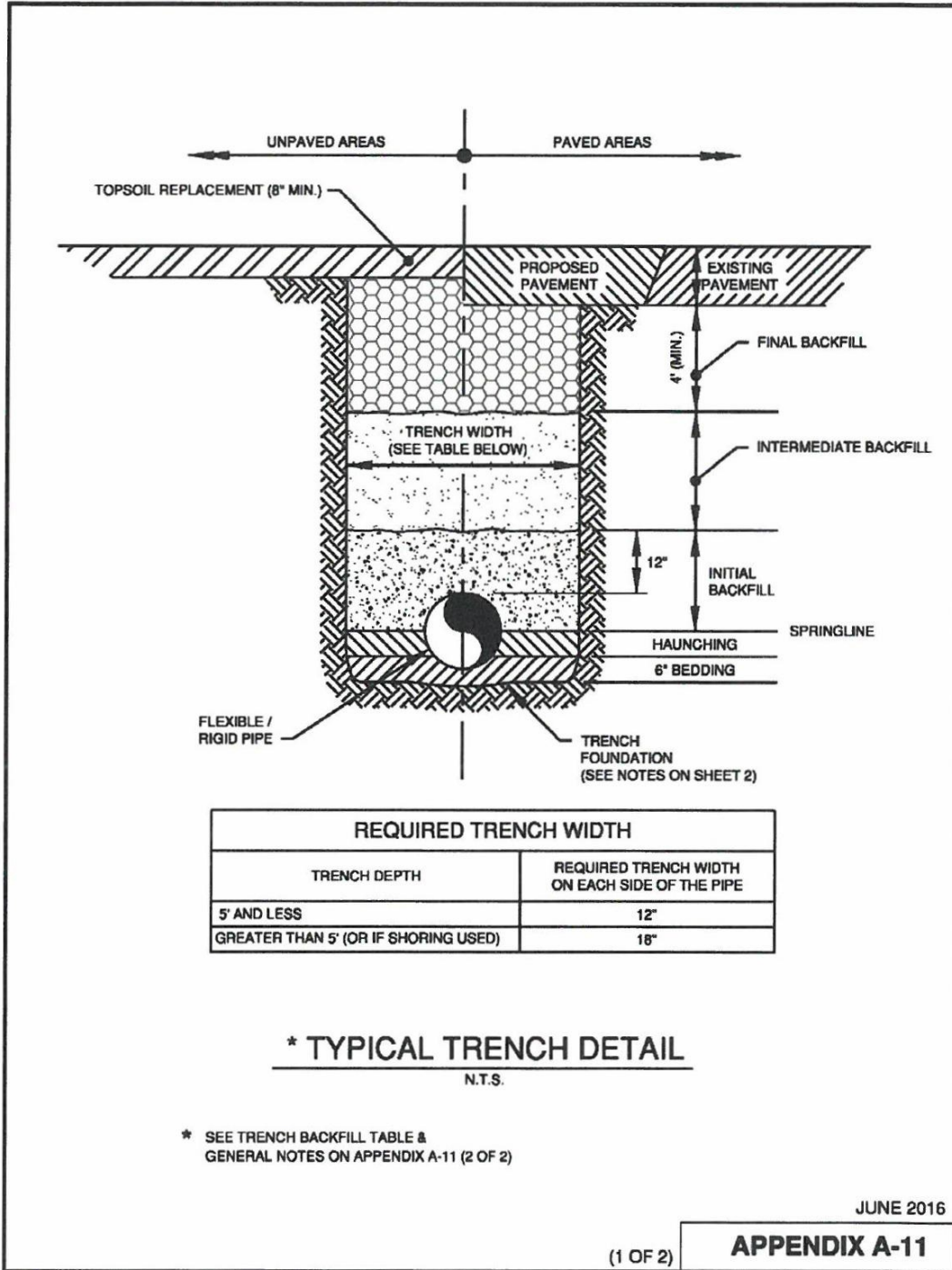
(Am. Ord. 16-35, passed 6-28-16)
2017 S-21

A-10 TYPICAL SANITARY MANHOLE LOCATION IN EASEMENT.



rayb J:\07001\DRAWINGS\07001STD.dwg Tue, 07/15/2008 10:41am
Xrefs:

PLOT SCALE 1 = 10



A-11 TYPICAL TRENCH DETAIL. (1 of 2)

2017 S-21

Chatham - Land Usage

TRENCH BACKFILL REQUIREMENTS

PIPE CLASS & LOCATION	BEDDING	HAUNCHING	INITIAL BACKFILL	INTERMEDIATE BACKFILL	FINAL BACKFILL
Flexible-under pavement and within 2' of back of curb	CA-6, CA-7, minimum tamped thickness of 6"	CA-6, @ 95% Std. Proctor, or CA-7 tamped to the satisfaction of the Engineer	CA-6, @ 95% Std. Proctor, or CA-7 tamped to the satisfaction of the Engineer	CA-6, FA-6 in 8" lifts @ 95% Std. Proctor or CA-7 in 12" lifts tamped to the satisfaction of the Engineer.	CA-6, FA-6 in 8" lifts @ 95% Std. Proctor. Cap FA-6 with 12" of CA-6 in two lifts at 95% Std. Proctor. Place geotextile fabric over CA-7 if FA-6 used.
Flexible-beyond 2' from back of curb	CA-6, CA-7, minimum tamped thickness of 6"	CA-6, @ 95% Std. Proctor, or CA-7 tamped to the satisfaction of the Engineer	CA-6 @ 95% Std. Proctor or CA-7 tamped to the satisfaction of the Engineer	Native soil, tamped and water-soaked to the satisfaction of the Engineer	Native soil, tamped and water-soaked to the satisfaction of the Engineer
Rigid-under pavement and within 2' of back of curb	CA-6, CA-7, FA-6, minimum tamped thickness of 6"	CA-6, or FA-6 at 95% Std. Proctor or CA-7 tamped to the satisfaction of the Engineer	CA-6, or FA-6 at 95% Std. Proctor or CA-7 tamped to the satisfaction of the Engineer	CA-6, FA-6 in 8" lifts @ 95% Std. Proctor or CA-7 in 12" lifts tamped to the satisfaction of the Engineer.	CA-6, FA-6 in 8" lifts @ 95% Std. Proctor. Cap FA-6 with 12" of CA-6 in two lifts at 95% Std. Proctor. Place geotextile fabric over CA-7 if FA-6 used.
Rigid-beyond 2' from back of curb	CA-6, CA-7, FA-6, minimum tamped thickness of 6"	CA-6, or FA-6 at 95% Std. Proctor or CA-7 tamped to the satisfaction of the Engineer	CA-6, or FA-6 at 95% Std. Proctor or CA-7 tamped to the satisfaction of the Engineer	Native soil, tamped and water-soaked to the satisfaction of the Engineer	Native soil, tamped and water-soaked to the satisfaction of the Engineer

GENERAL TRENCH BACKFILL NOTES:

1. Haunching and backfill materials disturbed by moving or removing any trench shoring shall be removed, replaced, and re-compacted in accordance with the project specifications and this detail.
2. Trench bottom shall be excavated and prepared to provide uniform, stable support of the pipe. For large diameter pipe, relief cuts shall be made at pipe bells, fittings, and couplings.
3. Trench shall be continually dewatered until backfill has been placed to prevent softening of foundation and to prevent buoyant forces from deflecting pipe alignment and grade.
4. Native soil salvaged from trench excavation shall be free of non-soil debris, organics, and rocks larger than 3". Fill shall not exceed the allowable moisture content.
5. Trench foundation shall be undisturbed, native soil or engineered fill compacted to 95% standard proctor. Where native soil is soft, spongy or otherwise unstable, the unstable soil shall be undercut and replaced with up to 12" of compacted CA-7.
6. Haunching shall be worked around the pipe by hand to eliminate voids beneath the pipe.
7. Jetting of trenches is not allowed.
8. Flexible pipe includes PVC and HDPE. Rigid pipe includes ductile iron pipe and reinforced concrete pipe.
9. Gradations shall be per IDOT Standard Road and Bridge specifications, latest edition.

JUNE 2016

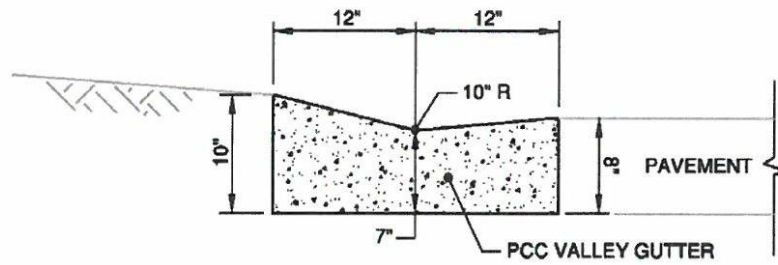
(2 OF 2)

APPENDIX A-11

A-11 TYPICAL TRENCH DETAIL. (2 of 2)

(Ord. 16-35, passed 6-28-16)

2017 S-21



RESIDENTIAL VALLEY GUTTER
N.T.S.

JUNE 2016

APPENDIX A-12

A-12 RESIDENTIAL VALLEY GUTTER.
(Ord. 16-35, passed 6-28-16)
2017 S-21