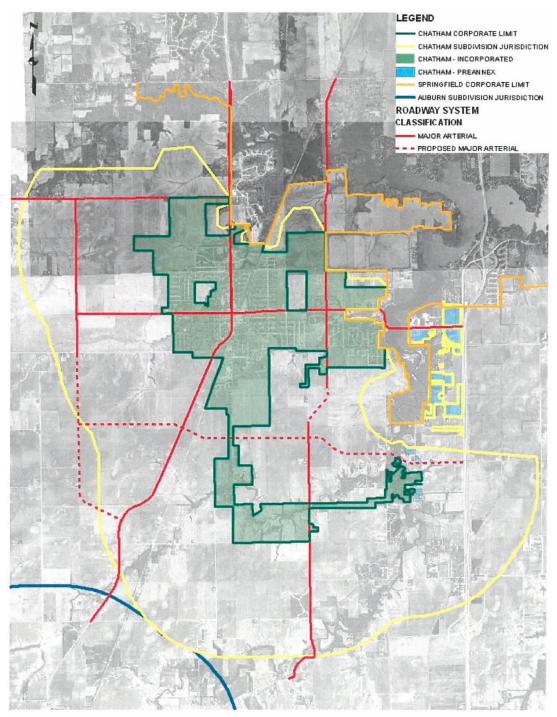
Subdivisions A-1 VILLAGE OF CHATHAM SUBDIVISION JURISDICTION.

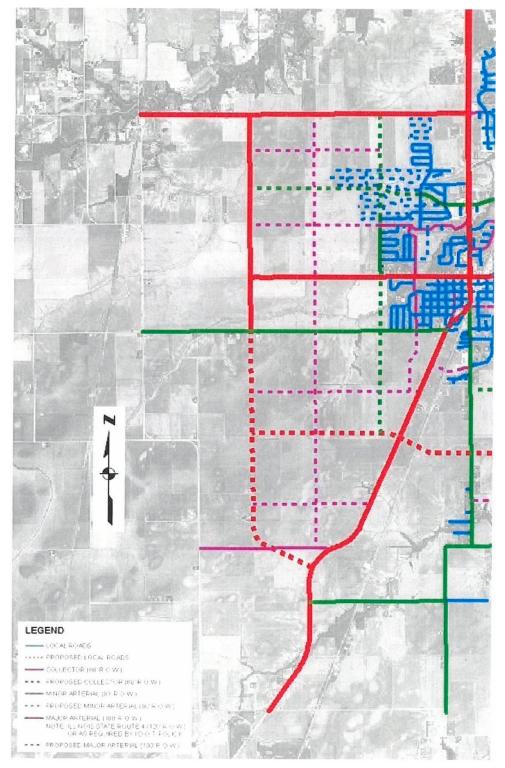


(Confirm current jurisdictional limits with the Village) (Am. Ord. 16-35, passed 6-28-16) 2017 S-21

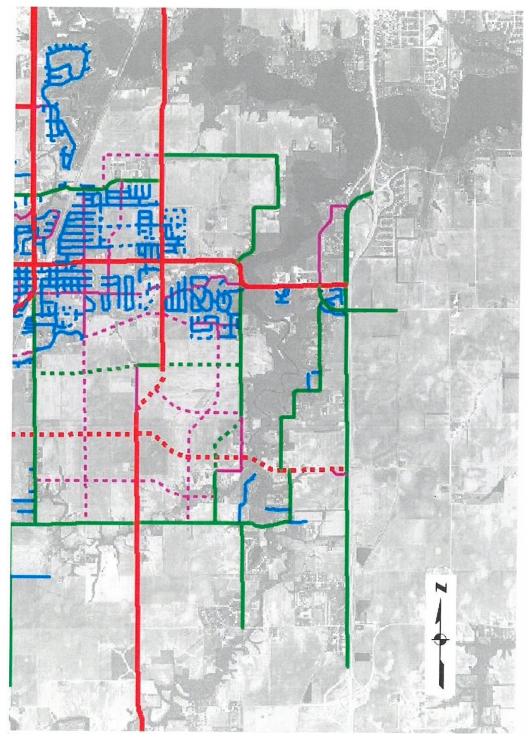
Subdivisions

A-2 FACILITIES PLAN.

Contact the Springfield Metro Sanitary District (217/528-0491) for a current Sanitary Sewer - Facilities Plan Map (Am. Ord. 16-35, passed 6-28-16)



A-3 ARTERIAL ROADWAY NETWORK PLAN - WEST.



A-3 ARTERIAL ROADWAY NETWORK PLAN - EAST. (Am. Ord. 16-35, passed 6-28-16) 2017 S-21

Subdivisions A-4 BILL OF SALE FOR PUBLIC IMPROVEMENTS.

BILL OF SALE FOR PERSONAL PROPERTY

FOR ______ SUBDIVISION, ____ PLAT

This Bill of Sale is made by _____ ("Developer") in favor of the Village of Chatham, Illinois, an Illinois municipal corporation.

WHEREAS, Developer was the owner and developer of certain property platted as Plat _____ of _____ Subdivision, Village of Chatham, Illinois;

WHEREAS, Developer has completed the construction of certain utility systems and other personal property to be owned by the Village of Chatham within the Plat;

WHEREAS, such systems and property have been found by the Village's consulting engineer to be in conformance with the approved construction plans;

NOW, THEREFORE, Developer hereby sells, transfers and delivers to the Village of Chatham, Illinois the following goods, chattels, and other items of personal property attached to or constructed within said subdivision:

1. Each and every part and item of a system of storm sewers, within public rights of way of said plat of subdivision for the purpose of collection, transport and flow of storm waters. This transfer does not include any retention or detention works or drainage swales, ditches and depressions or storm sewers not within a public right of way, which will remain the maintenance responsibility of the individual lot owners or the homeowners association, as the case may be.

2. Each and every part and item of a system for the collection, transportation and treatment of sanitary sewage by the sewer system of the Village of Chatham within said plat, excepting those pipes which transport the sewage of a single building into a sewer main and commonly known as a house or building service, and excepting those pipes which are the property of the Springfield Metro Sanitary District.

3. Each and every part and item of a system for distribution of water provided by the waterworks system of the Village of Chatham within said plats, except the pipes which transport water from the meter pit to a building, and commonly known as a house or building service.

4. Each and every part and item of a system for the distribution of electricity provided by the electrical system of the Village of Chatham within said plats of subdivision, except the electrical equipment and wires on the user side of the electric transformer or pedestal and commonly known as a house or building service.

Developer hereby warrants that subject to the prior dedication of rights to the Village of Chatham in connection with recordation of the Plat, it is the lawful owner of the aforedescribed property; and such items are free from all encumbrances; and that Developer has the right to sell and convey title to the same.

Chatham - Land Usage

Developer assigns to the Village of Chatham all outstanding warranties and guaranties by any contractor or subcontractor with respect to any public works conveyed pursuant to this instrument.

This Bill of Sale is effective upon its acceptance by ordinance or resolution of the Village of Chatham, Illinois, and recordation of same with the Recorder of Deeds of Sangamon County, Illinois.

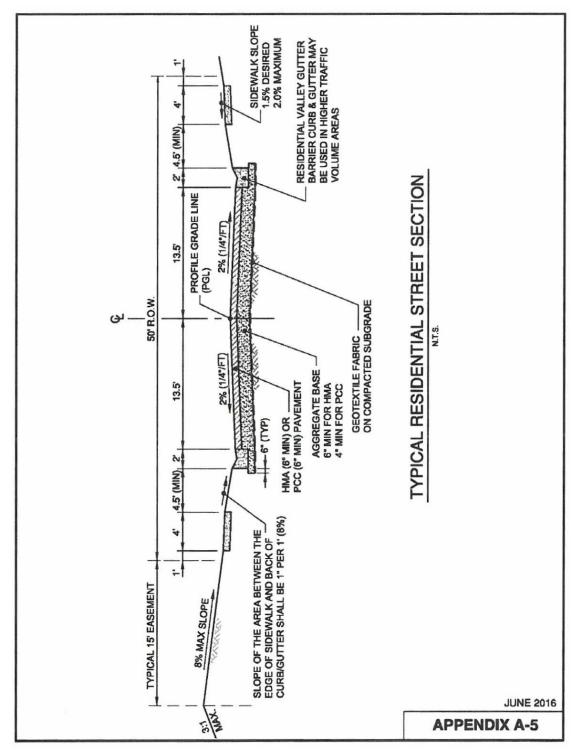
Developer By: _______ Signature

Print Name and Title SUBSCRIBED AND ACKNOWLEDGED before me this ___ day of _____, 20____

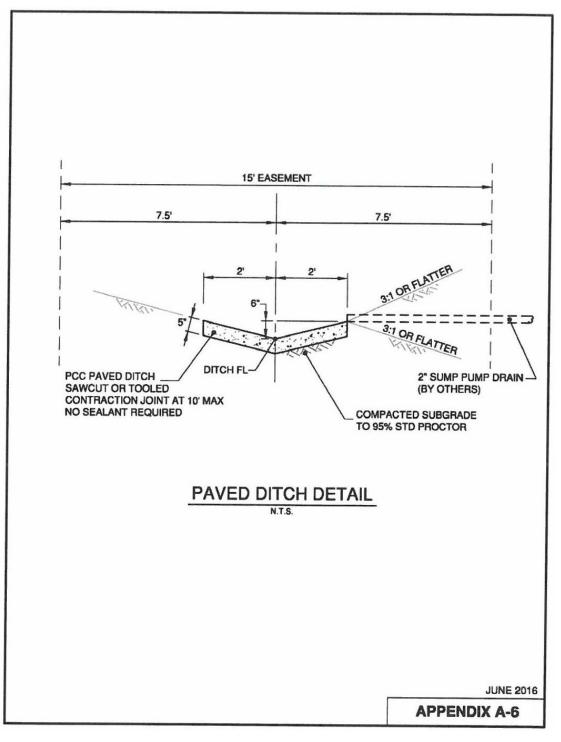
Notary Public

2017 S-21

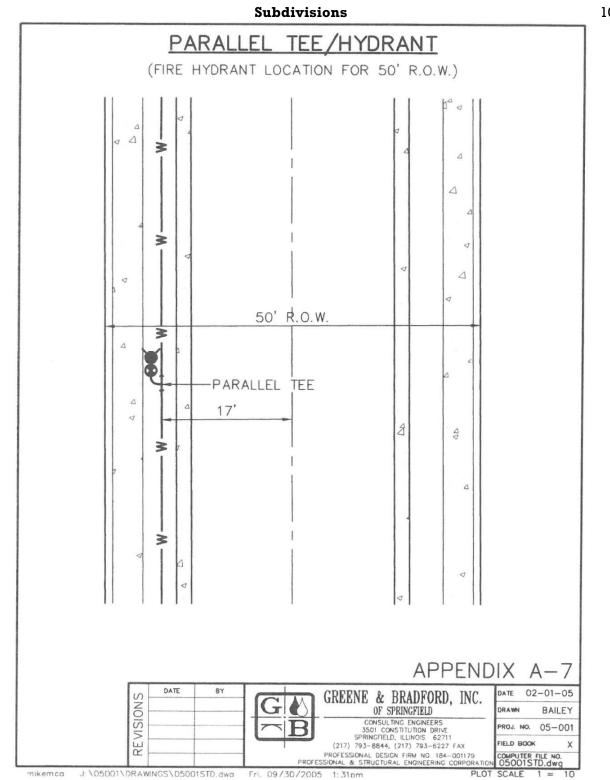
102



A-5 TYPICAL RESIDENTIAL STREET SECTION.

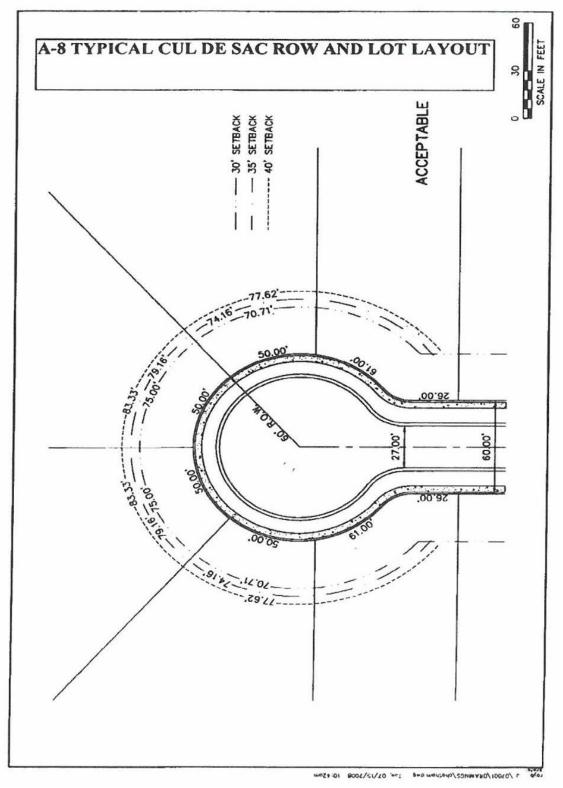


A-6 PAVED DITCH DETAIL.

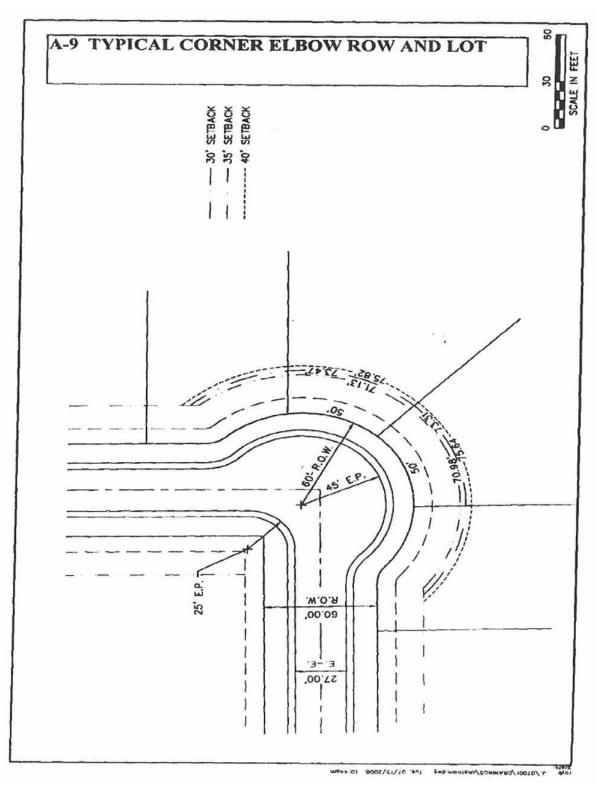


A-7 PARALLEL TEE/HYDRANT.

Subdivisions A-8 TYPICAL CUL-DE-SAC ROW AND LOT LAYOUT.

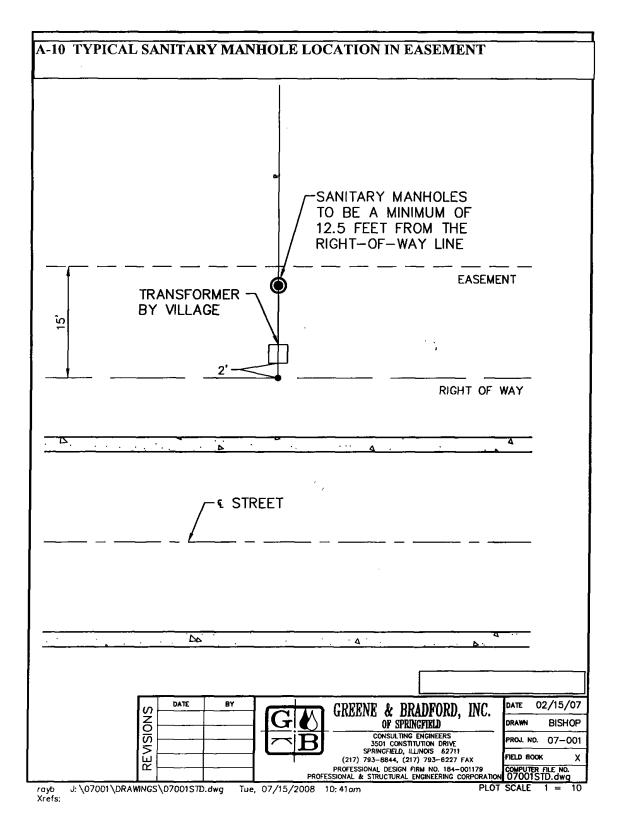


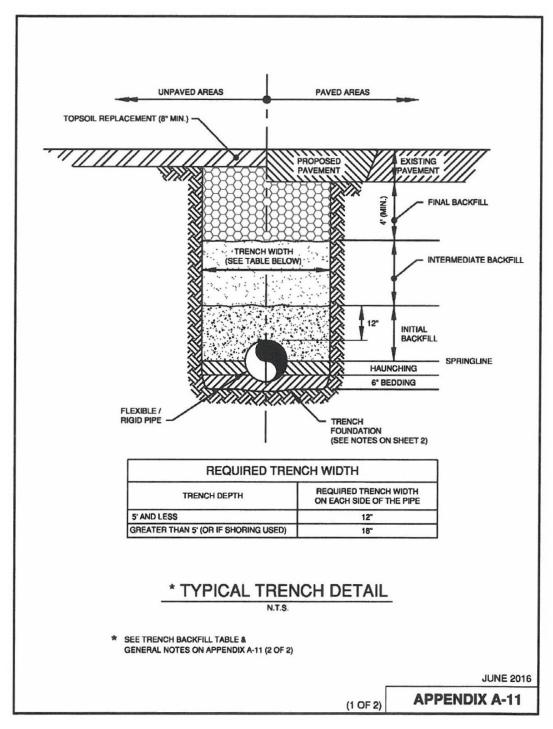
Subdivision A-9 TYPICAL CORNER ELBOW ROW AND LOT.



(Am. Ord. 16-35, passed 6-28-16) 2017 S-21

Subdivisions A-10 TYPICAL SANITARY MANHOLE LOCATION IN EASEMENT.





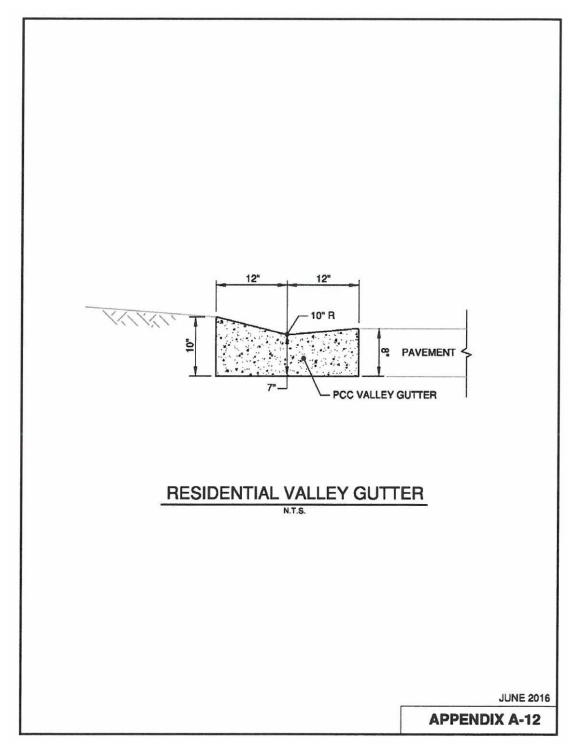
A-11 TYPICAL TRENCH DETAIL. (1 of 2)

Chatham - Land Usage

PIPE CLASS &	BEDDING	HAUNCHING	INITIAL	INTERMEDIATE	FINAL BACKFILL
LOCATION			BACKFILL	BACKFILL	
Flexible-	CA-6, CA-7,	CA-6, @ 95%	CA-6,@95%	CA-6, FA-6 IN 8"	CA-6, FA-6 in 8" lifts (
under	minimum	Std. Proctor, or	Std. Proctor, or	lifts @ 95% Std.	95% Std. Proctor. Cap
pavement and		CA-7 tamped to	CA-7 tamped to	Proctor or CA-7 In	FA-6 with 12" of CA-6
within 2' of	thickness of 6"	the satisfaction	the satisfaction	12" lifts tamped	in two lifts at 95% St
back of curb		of the Engineer	of the Engineer	to the satisfaction of the Engineer.	Proctor. Place geotextile fabric over
				of the Engineer.	CA-7 If FA-6 used.
Flexible-	CA-6, CA-7,	CA-6, @ 95%	CA-6 @ 95%	Native soil,	Native soil, tamped
beyond 2'	minimum	Std. Proctor, or	Std. Proctor or	tamped and	and water-soaked to
from back of	tamped	CA-7 tamped to	CA-7 tamped to	water-soaked to	the satisfaction of the
curb	thickness of 6"	the satisfaction	the satisfaction	the satisfaction of	Engineer
		of the Engineer	of the Engineer	the Engineer	
Rigid- under	CA-6, CA-7, FA-	CA-6, or FA-6 at	CA-6, or FA-6 at	CA-6, FA-6 in 8"	CA-6, FA-6 in 8" lifts (
pavement and		95% Std.	95% Std.	lifts @ 95% Std.	95% Std. Proctor. Cap
within 2' of back of curb	tamped thickness of 6"	Proctor or CA-7 tamped to the	Proctor or CA-7 tamped to the	Proctor or CA-7 in 12" lifts tamped	FA-6 with 12" of CA-6 in two lifts at 95% Sto
back of curb	unckness of b	satisfaction of	satisfaction of	to the satisfaction	Proctor, Place
		the Engineer	the Engineer	of the Engineer.	geotextile fabric over
		and Engineer	the Engineer	or the Engineer.	CA-7 if FA-6 used.
Rigid- beyond	CA-6, CA-7, FA-	CA-6, or FA-6 at	CA-6, or FA-6 at	Native soil,	Native soil, tamped
2' from back	6, minimum	95% Std.	95% Std.	tamped and	and water-soaked to
of curb	tamped	Proctor or CA-7	Proctor or CA-7	water-soaked to	the satisfaction of the
	thickness of 6"	tamped to the	tamped to the	the satisfaction of	Engineer
		satisfaction of	and do at an of	al	
		the Engineer	satisfaction of the Engineer	the Engineer	
	ENCH BACKFII	the Engineer	the Engineer	g any trench shoring	shall be removed,
Haunchi replaced	ng and backfill mate , and re-compacted	the Engineer	the Engineer noving or removing the project specifi	g any trench shoring ications and this deta	ıll.
Haunchi replaced Trench b	ng and backfill mate , and re-compacted ottom shall be exce	the Engineer	the Engineer noving or removing the project specifi d to provide unifor	g any trench shoring ications and this deta m, stable support of	dl.
Haunchi replaced Trench b diamete	ng and backfill mate , and re-compacted ottom shall be exca r pipe, relief cuts sh	the Engineer <u>L NOTES:</u> erials disturbed by in in accordance with wated and prepare all be made at pipe	the Engineer noving or removing the project specifi d to provide unifor bells, fittings, and	g any trench shoring ications and this deta m, stable support of couplings.	ll. the pipe. For large
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TRENCH RACKELL REQUIREMENTS

A-11 TYPICAL TRENCH DETAIL. (2 of 2) (Ord. 16-35, passed 6-28-16) 2017 S-21



A-12 RESIDENTIAL VALLEY GUTTER.